

# LONDON BOROUGH OF ENFIELD

## PLANNING COMMITTEE

**Date:** 23<sup>rd</sup> February 2021

**Report of**  
Head of Planning

**Contact Officer:**  
Andy Higham  
David Gittens  
James Clark

**Ward:**  
Enfield Highway

**Ref:** 20/03211/RE4

**Category:** Full Planning Application

**LOCATION:** Durants Park, Hertford Road, Enfield, EN3 7ED

**PROPOSAL:** Full planning application a flood alleviation scheme involving diversion of water flow from existing surface water sewer to new wetland area in south-eastern corner of the park; excavation works to create wetland basins, retention of resultant spoil on site to create raised wildflower meadows to north of the wetlands together with provision of footpath and amenity area.

**Applicant Name & Address:**

Mr Ian Russell  
Enfield Council  
Civic Centre  
Silver Street  
EN1 3XA  
ian.russell@enfield.gov.uk

**Agent Name & Address:**

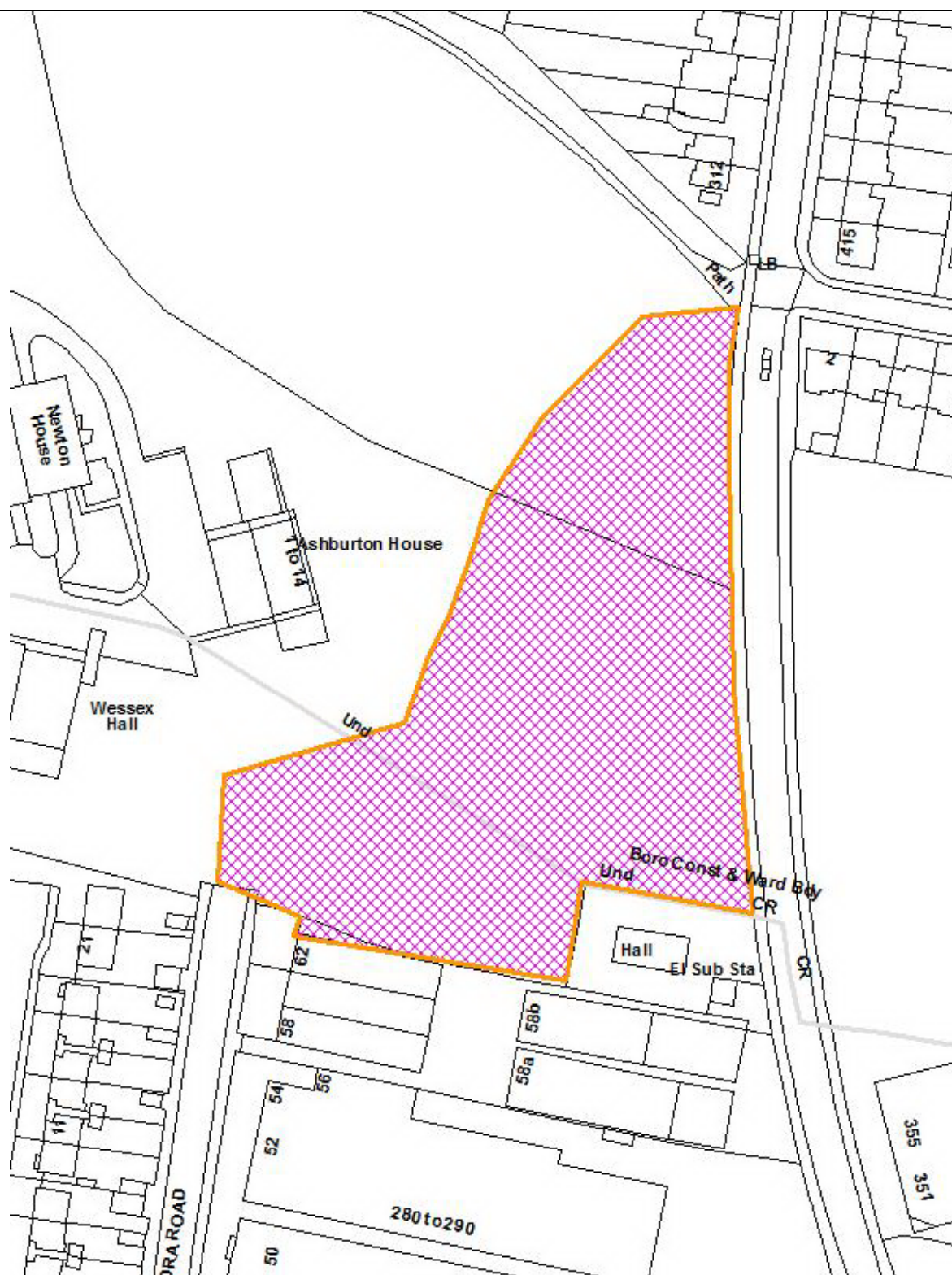
See applicant details

**RECOMMENDATION:**

That in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, planning permission be deemed GRANTED subject to the following conditions.

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**Ref:** 20/03211/RE4    **LOCATION:** Durants Park, Hertford Road, Enfield, EN3 7ED



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## **1.0 Note for Members**

- 1.1 The application is reported to the Planning Committee because the applicant for the development is the Council and in accordance with the scheme of delegation, is reported to the Planning Committee for determination.

## **2.0 Recommendation:**

- 2.1 That in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, planning permission be deemed granted subject the following planning conditions.

1. Time Limit

The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2 Accordance with plans

Drawings and Documents

Biodiversity survey and report (Dated ???)

Block plan

Construction Management Plan (Preliminary)

Durants Park sewer diversion

Heritage Map

Land contamination assessment

Location Plan

Planning Statement

Planting Plan (September 2020)

Waste Classification report (Ref G17246)

Wetland Plan and section (Ref LBE142-001 Rev A)

Reason: For the avoidance of doubt and in the interests of proper planning

3 Construction Site Waste Management

Prior to any development commencing, inclusive of site clearance, details of a Construction Waste Management Plan shall be submitted to the Local Planning Authority for approval in writing. The Construction Waste Management Plan shall include as a minimum:

- (a) Target benchmarks for resource efficiency set in accordance with best practice;
- (b) Procedures and commitments to minimize non-hazardous construction waste at design stage.

Specify waste minimisation actions relating to at least 3 waste groups and support them by appropriate monitoring of waste;

(c) Procedures for minimising hazardous waste;

(d) Monitoring, measuring and reporting of hazardous and non-hazardous site waste production according to the defined waste groups (according to the waste streams generated by the scope of the works);

(e) Procedures and commitments to sort and divert waste from landfill in accordance with the waste hierarchy (reduce; reuse; recycle; recover) according to the defined waste groups; and

(f) No less than 85% by weight or by volume of non-hazardous construction, excavation and demolition waste generated by the development has been diverted from landfill

Reason: To maximise the amount of waste diverted from landfill consistent with the waste hierarchy and strategic targets set by Policies 5.17, 5.18, 5.19 of the London Plan.

#### 4 Construction Management Plan

The development, including demolition of the existing buildings, shall not commence until a construction management plan has been submitted to and approved by the Local Planning Authority. The construction management plan shall be written in accordance with London Best Practice Guidance and contain:

- a) A photographic condition survey of the public roads, footways and verges leading to the site.
- b) Details of construction access and associated traffic management.
- c) Arrangements for the loading, unloading and turning of delivery, construction and service vehicles.
- d) Arrangements for the parking of contractors' vehicles.
- e) Arrangements for wheel cleaning.
- f) Arrangements for the storage of materials.
- g) Hours of work.
- h) Measures to reduce danger to cyclists.
- i) Dust mitigation measures.
- j) Safe routes for pedestrians and construction workers.
- k) Average and peak daily vehicle movements

The development shall be carried out in accordance with the approved construction management plan unless otherwise agreed by the Local Planning Authority.

Reason: To ensure construction does not lead to damage of the nearby public road network and to minimise disruption to the neighbouring properties.

5 The hereby approved development shall be developed in strict accordance with the submitted landscaping plan and no deviation unless by written consent from the Local planning authority.

Reason: To enhance the ecological value of the site and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with adopted policy, and to ensure highway safety.

6 Prior to commencement detail of a pathway lighting plan shall be submitted to and approved by the Local Planning Authority including a lux plan reaching a level of 40% uniformity and is to BS 5489:2013. The development shall be carried out in accordance with the approved details and thereafter shall be fully retained and maintained as such for the lifetime of the development.

Reason: To ensure adequate safe passage of pedestrians

7 Land contamination (1)

The development shall not commence until a scheme to deal with the contamination of the site including an investigation and assessment of the extent of contamination and the measure to be taken to avoid risk to health and the environment has been submitted to and approved in writing by the Local Planning Authority. Remediation shall be carried out in accordance with the approved scheme and the Local Planning Authority provided with a written warranty by the appointed specialist to confirm implementation prior to the occupation of development.

Land contamination (2)

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the local planning authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to, and approved in writing by, the local planning authority. The remediation strategy shall be implemented as approved.

Reason To ensure that the development does not contribute to and is not put at unacceptable risk from or adversely affected by, unacceptable levels of water pollution from previously unidentified contamination sources at the development site. This is in line with paragraph 170 of the National Planning Policy Framework.

8 Noise

All Non-Road Mobile Machinery (NRMM) of net power of 37kW and up to and including 560kW used during the course of the demolition, site preparation and construction phases shall comply with the emission standards set out in chapter 7 of the GLA's supplementary planning guidance "Control of Dust and Emissions During Construction and Demolition" dated July 2014 (SPG), or subsequent guidance. Unless it complies with the standards set out in the SPG, no NRMM shall be on site, at any time, whether in use or not, without the prior written consent of the local planning authority. The developer shall keep an up to date list of all NRMM used during the demolition, site preparation and construction phases of the development on the online register at <https://nrmm.london/>

Reasons: In the interests of good air quality with regard to London Plan policies 5.3 and 7.14

## 9 Construction Hours

No demolition, construction or maintenance activities audible at the site boundary of any residential dwelling shall be undertaken outside the hours of 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 Saturday or at any time on Sundays and bank or public holidays without the written approval of the Local Planning Authority. Deliveries of construction and demolition materials to and from the site by road shall take place between 09:00 – 16:00 Monday to Friday & 08:00 - 13:00 on Saturday and at no other time except with the prior written approval of the Local Planning Authority.

During construction activities the following noise mitigation measures shall be employed:

- A solid continuous hoarding shall be erected around the site to acoustically screen low level noise sources;
- Where possible silenced plant and equipment shall be used;
- Where vehicles are likely to be standing for a significant period of time, engines shall be switched off;
- Acoustic enclosures shall be fitted, where possible, to suppress noisy equipment;
- Where possible, continuous flight auger (CFA) piling methods shall be used instead of conventional bored piling;
- Where possible, plant shall operate at low speeds and incorporate automatic low speed idling;
- Where possible, electrically driven equipment shall be selected in preference to internal combustion powered, hydraulic power in preference to pneumatic and wheeled in lieu of tracked plant
- All plant shall be properly maintained (greased, blown silencers replaced, saws kept sharpened, teeth set and blades flat, worn bearings replaced);
- All contractors shall be made familiar with the guidance in BS 5228 (Part 1 & 2) which will form a pre-requisite of their appointment. In respect of piling, BS 5228 (Part 4) shall form the basis of any proposals.

At least 28 days prior to the commencement of any site works, all occupiers surrounding the site should be notified in writing of the nature and duration of

works to be undertaken. The name and contact details of a person responsible for the site works should be made available for enquiries and complaints for the entire duration of the works and updates of work should be provided regularly. Any complaints should be properly addressed as quickly as possible.

Prior to any development taking place the applicant shall enter into a Section 61 agreement under the Control of Pollution Act 1974 with the London Borough of Enfield for the development site.

For the duration of the works the noise generated from the site shall be monitored on a continuous basis using a class 1 sound level meter. The noise level generated from construction activities shall not exceed 75 dB L<sub>AEQ 10 hours</sub> 1 meter from the façade of the nearest residential property at any time. The results of all noise monitoring shall be forwarded to the Pollution Control & Planning Enforcement Team at the end of each working week.

For the duration of the works the vibration level generated from piling operations on any site shall be monitored on a continuous basis using a suitable accelerometer. The peak particle velocity level generated from piling activities shall not exceed 1mm/s at the foundations of the nearest residential premises. Results of the highest daily measured peak particle velocity shall be recorded and forwarded to the Pollution, Licensing & Planning Enforcement Team at the end of each working week.

#### Informative

Written schemes of investigation will need to be prepared and implemented by a suitably qualified professionally accredited archaeological practice in accordance with Historic England's Guidelines for Archaeological Projects in Greater London. This condition is exempt from deemed discharge under schedule 6 of The Town and Country Planning (Development Management Procedure) (England) Order 2015.

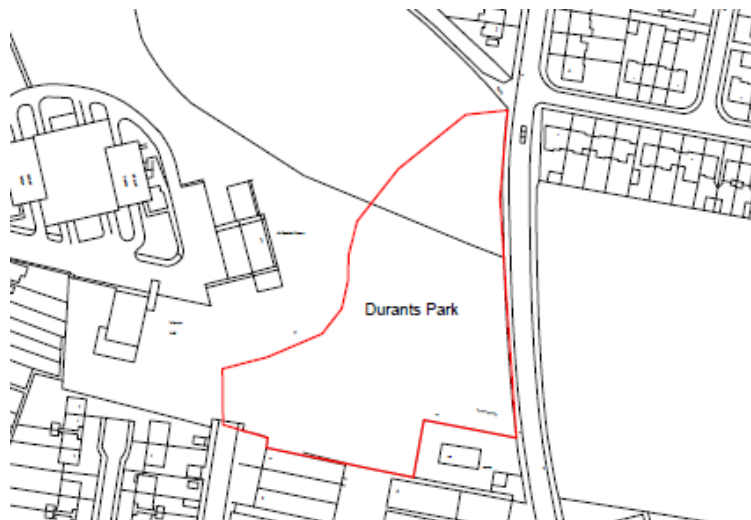
### **3.0 Executive Summary:**

- 3.1 The report seeks approval for a flood alleviation scheme involving a 0.85 hectare portion of Durants Park adjacent to the eastern boundary of the Exeter Estate. The scheme includes flood storage areas, a new footpath and a revised landscape appearance.
- 3.2 The proposed flood alleviation scheme involves the diversion of water flow from existing surface water sewer to new wetland area in south-eastern corner of the park; excavation works to create wetland basins, retention of resultant spoil on site to create raised wildflower meadows to north of the wetlands together with provision of footpath and amenity area
- 3.3 The principle reasons for recommending approval are,

- i) To prevent flash flooding via retaining of surface water runoff on site and filtering pollutants from road services
- ii) To deliver Improvements to biodiversity and the landscaping of this section of Durants Park, through the planting of new trees and wildflower meadows.
- iii) To benefit current and future users of the site, with particular reference to residents of the Exeter Estate, adjacent to the site and a new pedestrian path be constructed to provide better connectivity to Alma Road from the Exeter estate.

#### **4.0 Site and Surroundings:**

- 4.1 Durants Park is located in the north east of the borough to the east of Hertford road and to the west of the Brimsdown Railway Line. The area of Durants Park, the subject of this planning application, is 0.85 hectares located to the extreme south-east of the park, flanked to the east by Alma Road, Alexandra Road and industrial units to the south, Exeter Road estate to the west and parkland to the north.
- 4.2 The site is designated Metropolitan Open land, Local Open Space and a local heritage asset consistent with the rest of the wider Park. The site is not within a designated Flood Zone but is within a medium to high surface water risk area.
- 4.3 The site has no structures and is not actively used, providing an area of wild grass, with a light tree covering to the north and south of the site. The location plan and aerial images below illustrate the site.







## 5.0 Proposal:

5.1 The proposal involves the creation of a flood alleviation scheme involving the diversion of water flow from the existing surface water sewer to a new wetland area in south-eastern corner of the park; excavation works to create wetland basins, retention of resultant spoil on site to create raised wildflower meadows to north of the wetlands together with provision of footpath and amenity area. In more detail:

- Divert flow from a surface water sewer which currently flows through the southern boundary of the park
- Formation of three wetland cells covering an area of 1300m<sup>2</sup> store
- Approximately around 3000m<sup>3</sup> of flood water
- New Footpath
- Treat diffuse urban pollution from surface runoff
- Enhance landscaping and diversity, creating varied habitats

## 6.0 Relevant Planning History:

6.1 No planning or enforcement history exists on site

## 7.0 Consultation:

### Public Response

7.1 Consultation letters were sent to 172 neighbouring properties (21 days expired 31<sup>st</sup> October 2020) and a press advert was placed in the local newspaper (12/10/2020). A site notice was also displayed adjacent the site on the

22/10/2020. In response, one comment has been received raising an objection to the development, the concerns of which are summarised below:

- This area has Japanese knotweed, which has been registered and at this time being treated with a chemical spray, which seems after first and second treatment it is still producing shoots and leaves.



#### Statutory and Non-Statutory Consultees:

##### 7.2 Internal Consultations:

###### 7.2.1 Transportation & Transport

- No objection

###### 7.2.3 Environmental Health

- No objection subject to application of conditions to contamination, monitor dust and other potential disturbance resulting from works.

##### 7.3 External Consultees

###### 7.3.1 Metropolitan Police – Secure by Design

- No objection

###### 7.3.2 Sport England

- No Objection,

##### 7.4 Officer comments

The consultees are supportive of the development and provide no objection to the scheme subject to application of appropriate conditions.

## **8.0 Relevant Policies**

### **8.1 NPPF (Adopted February 2019)**

Section 8	Promoting healthy and safe communities Para 96-101
Section 14	Meeting the Challenge of Climate Change flooding and coastal Change, Para 155-163
Section 15	Conserving and enhancing the natural environment, Para 174-177

### **8.2 London Plan (2016)**

Policy 2.18	Green Infrastructure: the multi-functional network of Green and open spaces
Policy 3.2	Improving health and addressing health inequalities
Policy 5.12	Flood Risk Management
Policy 5.13	Sustainable drainage
Policy 6.10	Walking
Policy 7.2	An inclusive development
Policy 7.3	Designing out crime
Policy 7.4	Local character
Policy 7.8	Heritage assets and archaeology
Policy 7.17	Metropolitan Open space
Policy 7.18	Protecting open space and addressing deficiency
Policy 7.19	Biodiversity and access to nature
Policy 7.21	Trees and woodlands
Policy 7.30	London's canals and other rivers and waterspaces

### **8.3 The London Plan – “Publication” (December 2020)**

Following an Examination in Public into the submission version of the Plan and modifications, in December 2019 the Mayor published his Intend to Publish London Plan. On 13 March 2020, the Secretary of State issued Directions to change a number of proposed policies.

In response, the Mayor sent a letter to the Secretary of State on 9 December advising that he intends to approve a new draft London Plan on 21st December and send to the Secretary of State shortly after. The Mayor has advised that this will be a new, stand-alone publication version of the Plan and has been prepared to address the Secretary of State's previous directions.

The Secretary of State has 6 weeks in which to respond (or can request a further extension of time). The Mayor can only publish the Plan after the Secretary of State has given his approval.

The Secretary of State sent a response to the Mayor on 10 December confirming amendments to the original 11 directions issued in March 2020 and issuing 2 further directions. He also invited to the Mayor to re-submit the London Plan to

him. The Mayor has sent the Secretary of State the Publication London Plan December 2020.

The Secretary of State has up to 6 weeks to decide whether he is content for the Mayor to formally publish the Publication London Plan (or request a further extension of time) Once the Mayor has formally received confirmation from the Secretary of State that he is content for his Publication London Plan to be published, the Mayor will proceed with the final steps to publish his London Plan.

In line with paragraph 48 of the NPPF, the weight attached to this Plan should reflect the stage of its preparation; the extent to which there are unresolved objections to relevant policies; and the degree of consistency of the relevant policies in the emerging Plan to the NPPF.

Whilst the published London Plan (2016) remains part of Enfield's Development Plan, given the advanced stage that the Intend to Publish version has reached, significant weight can be attached to it in the determination of planning applications (although there is greater uncertainty about those draft policies that are subject to the Secretary of State's Direction). The following policies are considered particularly relevant:

- GG1 Building Strong and Inclusive Communities
- GG2 Making the Best Use of Land
- GG3 Creating a Healthy City
- D2 Infrastructure Requirements for Sustainable Densities
- D4 Delivering good Design
- D5 Inclusive Design
- D8 Public realm
- D11 Safety, security and resilience to emergency
- G6 Biodiversity and access to nature
- G7 Trees
- SI1 Improving air quality
- SI5 Water Infrastructure
- SI12 Flood Risk Management
- SI13 Sustainable Drainage

#### 8.4 Core Strategy

- CP11 Recreation, leisure, culture and Arts
- CP21 Delivering sustainable water supply, drainage and sewerage infrastructure
- CP28 Managing Flood Risk through development
- CP29 Flood Management Infrastructure
- CP30 Maintaining and improving the quality of the built and open environment
- CP34 Parks, Playing fields and other open spaces
- CP35 Lee Valley Regional Park and Waterways
- CP36 Biodiversity

#### 8.5 Development Management Document

DMD 37	Achieving high quality and design-led development
DMD 44	Conserving and Enhancing Heritage assets
DMD 59	Avoiding and reducing Flood Risk
DMD 60	Assessing Flood Risk
DMD 61	Managing surface water
DMD 62	Flood Control and Mitigation Measures
DMD 63	Protection and improvement of watercourse and flood defences
DMD 64	Pollution control and assessment
DMD 71	Protection and enhancement of Open space
DMD 72	Open Space provision
DMD 76	Wildlife Corridors
DMD 79	Ecological Enhancements
DMD 80	Trees on development sites
DMD 81	Landscaping

#### 8.6 Other Relevant Policy and Guidance

National Planning Practice Guidance (NPPG)  
 Enfield's Local Flood Risk Management Strategy (2016).  
 Heritage Strategy SPD

### 9.0 **Assessment**

9.1 The main considerations of the development are the following,

- Principle of flood mitigation measures
- Impact on the character and landscape of Durants Park

#### Principle of Flood Mitigation Measures:

9.2 The adopted NPPF (February 2019) provides strategic guidance on the provision and need of flood defences especially in light of climate change. Paragraphs 149 of the NPPF states:

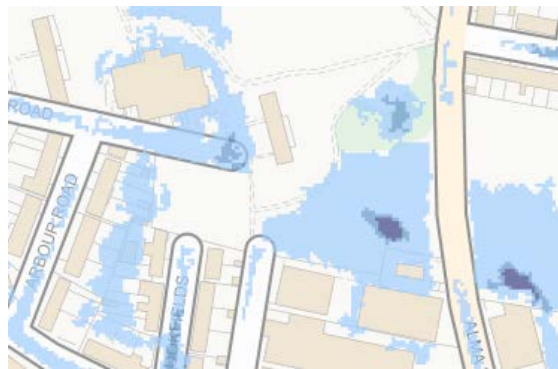
*(Para 149) Plans should take a proactive approach to mitigating and adapting to climate change, taking into account the long-term implications for flood risk, coastal change, water supply, biodiversity and landscapes, and the risk of overheating from rising temperatures. Policies should support appropriate measures to ensure the future resilience of communities and infrastructure to climate change impacts, such as providing space for physical protection measures, or making provision for the possible future relocation of vulnerable development and infrastructure.*

9.3 Paragraphs 155 to 165 of the NPPF principally deal with new development and the implications to flood risk of the site. Local plan policies CP28 (Core Strategy) and Policies DMD 59 and DMD 60 (Development Management Document)

provide defined guidance relating to retro-fit changes to a landscape to protect existing built development from flooding.

- 9.4 The location has been identified for wetland development on account of the highly urbanised nature of the catchment area and the suitability for wetland development. The site is already within a medium to high risk of surface water flooding and current provides limited amenity value. The wetland would have multiple benefits of diverting surface water from the surface sewage system, preventing flash flooding within the location, providing enhanced biodiversity and creating a visually attractive setting for existing residents.
- 9.5 In addition, the wetlands would also provide an environment to deal naturally with pollutants from vehicles which build up on the roads and are washed into the surface water network. Wetlands filter runoff, breaking down pollutants and help to improve the quality of surface water discharging into rivers.

Surface water flooding map of the site



- 9.6 In summary, the proposed wetland scheme is small scale but would provide 3000m<sup>2</sup> of water capture capacity to reduce flooding and provide notable other benefits to the site.

Impact on the character and landscape of Durants Park:

- 9.7 The site is located in the south-eastern corner of Durants Park and is largely residue land with limited value beyond retaining open character to the location. Light mature tree coverage is apparent but ultimately the site would benefit from an uplift in its appearance together with a new pathway connecting the Exeter Road Estate to Alma Road, permitting greater connectivity to the eastern segment of the park.
- 9.8 No trees would be lost as part of the wetland development and only modest land reformation changes would be undertaken on site. However, the wetland would introduce seven (7) new trees to the site, wildflower meadows and native water borne plants.

- 9.9 In conclusion, the landscaping works to facilitate the wetlands scheme is supported as they will provide an attractive and visually interesting Parkland area with the encouragement of a wider level of biodiversity on site. There is a good level of detail in the planning application including levels throughout the site. However, it is considered that conditions are required securing further landscaping details new lighting for security on the pathway throughout the park.

#### Amenity:

- 9.10 It is considered the scheme would have no discernible impact on the amenities of surrounding residential and commercial properties which lie adjacent to the site. The site is already open with no forms of enclosure. No fencing or enclosure is proposed as part of the wetland development retaining unfettered access.

#### Biodiversity

The applicant had submitted a Biodiversity Report (Preliminary Ecological Appraisal (Comprising an extended Phase 1 Habitat) prepared by GS Ecology). The report concludes the site is predominantly amenity grassland, park with limited scope of species. It also acknowledges the proposed wetland will create new wildlife friendly habitats within this particular section of Durants park. The proposal will therefore have a significant benefit for biodiversity in the location.

#### Miscellaneous

- 9.11 The wetland development would deposit excavated soil within the site area to create partially raised areas and undulating landscape. In order to ensure that the soil is suitable for reuse a condition has been attached requiring samples to be taken to confirm no contamination and that the soil it is suitable for reuse. In this regard, Durants Park has not been used recently or historically for industry of any kind, nevertheless, as a precaution such a condition is considered applicable to the development.
- 9.12 The applicant has also submitted a construction management plan (CMP) to confirm how the wetlands shall be serviced during construction in terms of storage and comings and goings of heavy machinery and vehicles.. More detail is required, pertaining to onsite storage, wheel washing locations and primary entry and exits to the site (assumed to be from Alma Road). A condition to secure these additional details is recommended and it is felt this will minimise disruption. The Construction Management Plan (CMP) will need to be written in accordance with the Mayor of London's supplementary planning guidance and shall be required prior to commencement of development. The CMP shall also include but not limited to 'the Control of Dust and Emissions During Construction' detailing how dust and emissions will be managed during the construction work

### **10.0 Conclusion**

- 10.1 The merits and special significance of the development to prevent future flooding of residential properties and subsequently provide a rich biodiversity environment open to the local community have been considered and the proposal is

considered to be acceptable having regard to adopted and emerging planning policy. The proposal is therefore recommended for approval subject to planning conditions.



## Outline conditions – Durants Park

### 1 Time Limit

The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

### 2 Accordance with plans

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Reason: For the avoidance of doubt and in the interests of proper planning

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Specify waste minimisation actions relating to at least 3 waste groups and support them by appropriate monitoring of waste;
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- (e) Procedures and commitments to sort and divert waste from landfill in accordance with the waste hierarchy (reduce; reuse; recycle; recover) according to the defined waste groups; and
- (f) No less than 85% by weight or by volume of non-hazardous construction, excavation and demolition waste generated by the development has been diverted from landfill

Reason: To maximise the amount of waste diverted from landfill consistent with the waste hierarchy and strategic targets set by Policies 5.17, 5.18, 5.19 of the London Plan.

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- k) Average and peak daily vehicle movements

The development shall be carried out in accordance with the approved construction management plan unless otherwise agreed by the Local Planning Authority.

Reason: To ensure construction does not lead to damage of the nearby public road network and to minimise disruption to the neighbouring properties.

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#### Landscaping

The hereby approved development shall be developed in strict accordance with the submitted landscaping plan and no deviation unless by written consent from the Local planning authority.

Reason: To enhance the ecological value of the site and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with adopted policy, and to ensure highway safety.

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#### Lighting

Prior to commencement detail of a pathway lighting plan shall be submitted to and approved by the Local Planning Authority including a lux plan reaching a level of 40% uniformity and is to BS 5489:2013. The development shall be carried out in accordance with the approved details and thereafter shall be fully retained and maintained as such for the lifetime of the development.

Reason: To ensure adequate safe passage of pedestrians

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Reasons: In the interests of good air quality with regard to London Plan policies 5.3 and 7.14

- 9 Hours of operation  
No demolition, construction or maintenance activities audible at the site boundary of any residential dwelling shall be undertaken outside the hours of 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 Saturday or at any time on Sundays and bank or public holidays without the written approval of the Local Planning Authority. Deliveries of construction and demolition materials to and from the site by road shall take place between 09:00 – 16:00 Monday to Friday & 08:00 - 13:00 on Saturday and at no other time except with the prior written approval of the Local Planning Authority.

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- All contractors shall be made familiar with the guidance in BS 5228 (Part 1 & 2) which will form a pre-requisite of their appointment. In respect of piling, BS 5228 (Part 4) shall form the basis of any proposals.

At least 28 days prior to the commencement of any site works, all occupiers surrounding the site should be notified in writing of the nature and duration of works to be undertaken. The name and contact details of a person responsible for the site works should be made available for enquiries and complaints for the entire duration of the works and updates of work should be provided regularly. Any complaints should be properly addressed as quickly as possible.

Prior to any development taking place the applicant shall enter into a Section 61 agreement under the Control of Pollution Act 1974 with the London Borough of Enfield for the development site.

For the duration of the works the noise generated from the site shall be monitored on a continuous basis using a class 1 sound level meter. The noise level generated from construction activities shall not exceed 75 dB  $L_{Aeq, 10 \text{ hours}}$  1 meter from the façade of the nearest residential property at any time. The results of all noise monitoring shall be forwarded to the Pollution Control & Planning Enforcement Team at the end of each working week.

For the duration of the works the vibration level generated from piling operations on any site shall be monitored on a continuous basis using a suitable accelerometer. The peak particle velocity level generated from piling activities shall not exceed 1mm/s at the foundations of the nearest residential premises. Results of the highest daily measured peak particle velocity shall be recorded and forwarded to the Pollution, Licensing & Planning Enforcement Team at the end of each working week.

#### Informative

Written schemes of investigation will need to be prepared and implemented by a suitably qualified professionally accredited archaeological practice in accordance with Historic England's Guidelines for Archaeological Projects in Greater London. This condition is exempt from deemed discharge under schedule 6 of The Town and Country Planning (Development Management Procedure) (England) Order 2015.

## Durants Park Wetlands – Supporting Planning Statement

### September 2020

This planning statement is submitted in support of the planning application for Durants Park Wetlands.



**Figure 1:** Plan showing the location of the proposed wetlands within Durants Park

### Background

Durants Park and the surface water sewers which flow through it sit within the Salmons Brook catchment. This is characterised as a highly urbanised catchment with a large proportion of impermeable areas generating runoff and hence a rapid or ‘flashy’ response to rainfall. Using constructed wetlands to manage surface water flood risk was highlighted in Enfield’s Local Flood Risk Management Strategy (2016).

Several constructed wetlands schemes have been delivered by Enfield Council’s Watercourses Team across the borough, such as Firs Farm, Town Park and Broomfield Park. Due to the highly urbanised nature of the catchment, pollutants from vehicles build up on the roads and are washed into the surface water network. Wetlands filter runoff, breaking down pollutants and helping to improve the quality of surface water discharging into rivers.

Enfield Council’s Watercourses Team are proposing to construct a wetland in the south-east corner of Durants Park (see figure 1). The area of park where wetland features are proposed is currently open grassland.

### Proposal

The proposed wetland will divert flow from a surface water sewer which

currently flows through the southern boundary of the park. The proposals will consist of three wetland cells covering an area of 1300m<sup>2</sup> and will store around 3000m<sup>3</sup> of flood water, the plans also include footpaths and an amenity area.

Constructed wetlands manage surface water runoff, helping to treat diffuse urban pollution and provide flood storage. The Durants Park proposals will greatly improve the amenity value of this area of the park and enhance biodiversity by creating varied habitats.

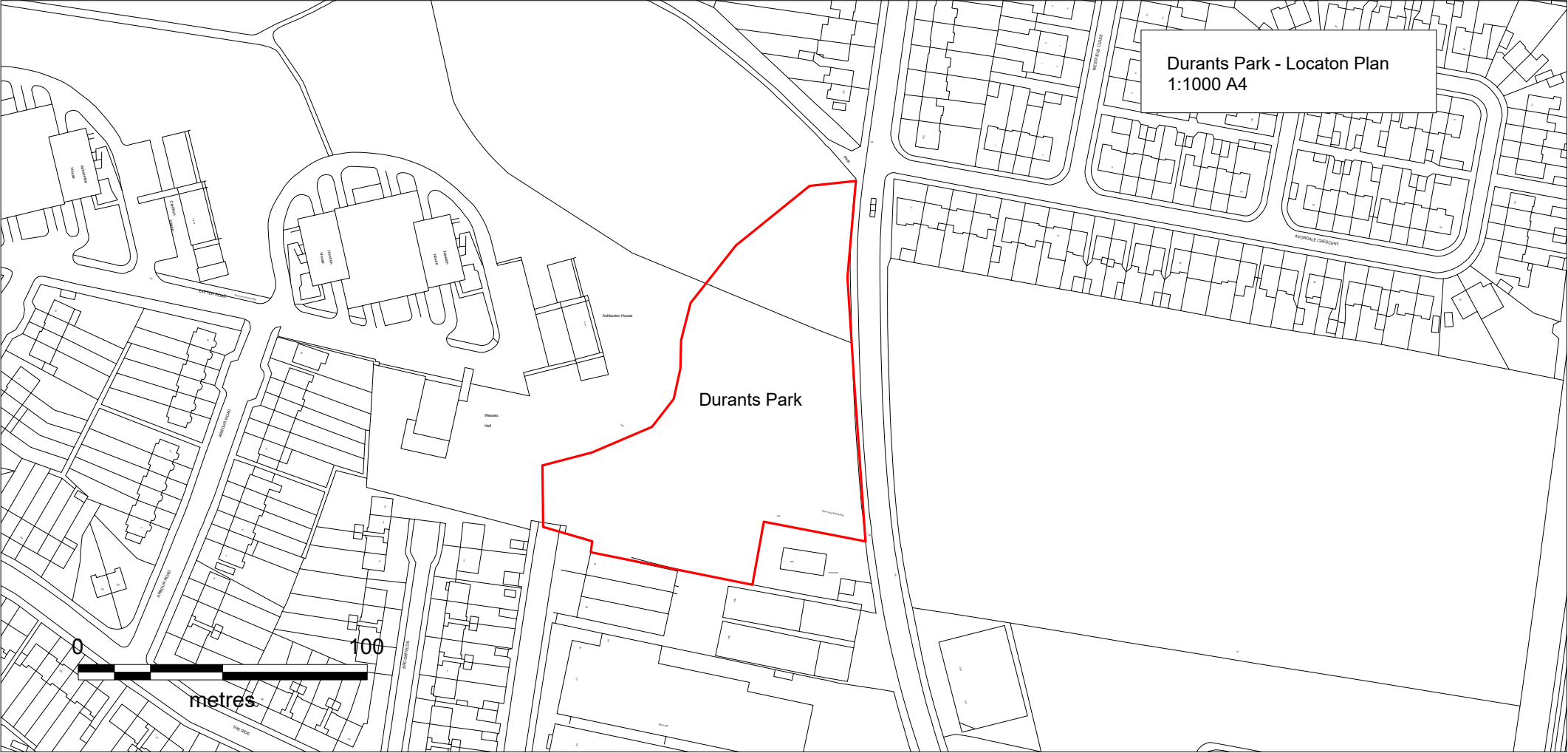
### Consultations

A feasibility study has been conducted for this site. This included geological investigations, archeologically investigations, and utility searches and identification.

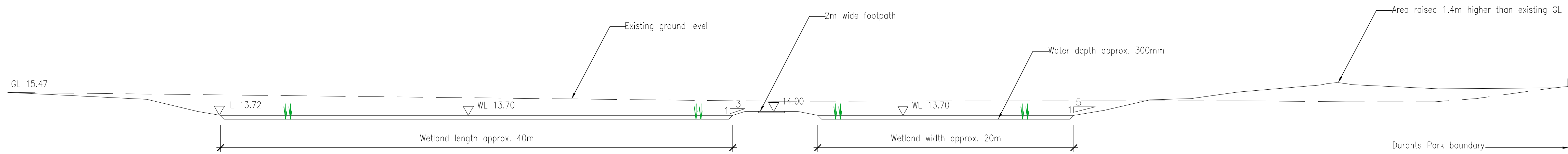
In addition, the designs have been guided by arboricultural, biodiversity and hydraulic considerations and are due to be presented to interested parties through further consultation. The design will be agreed with the Parks Operations team prior to finalisation.

### Landscaping Works

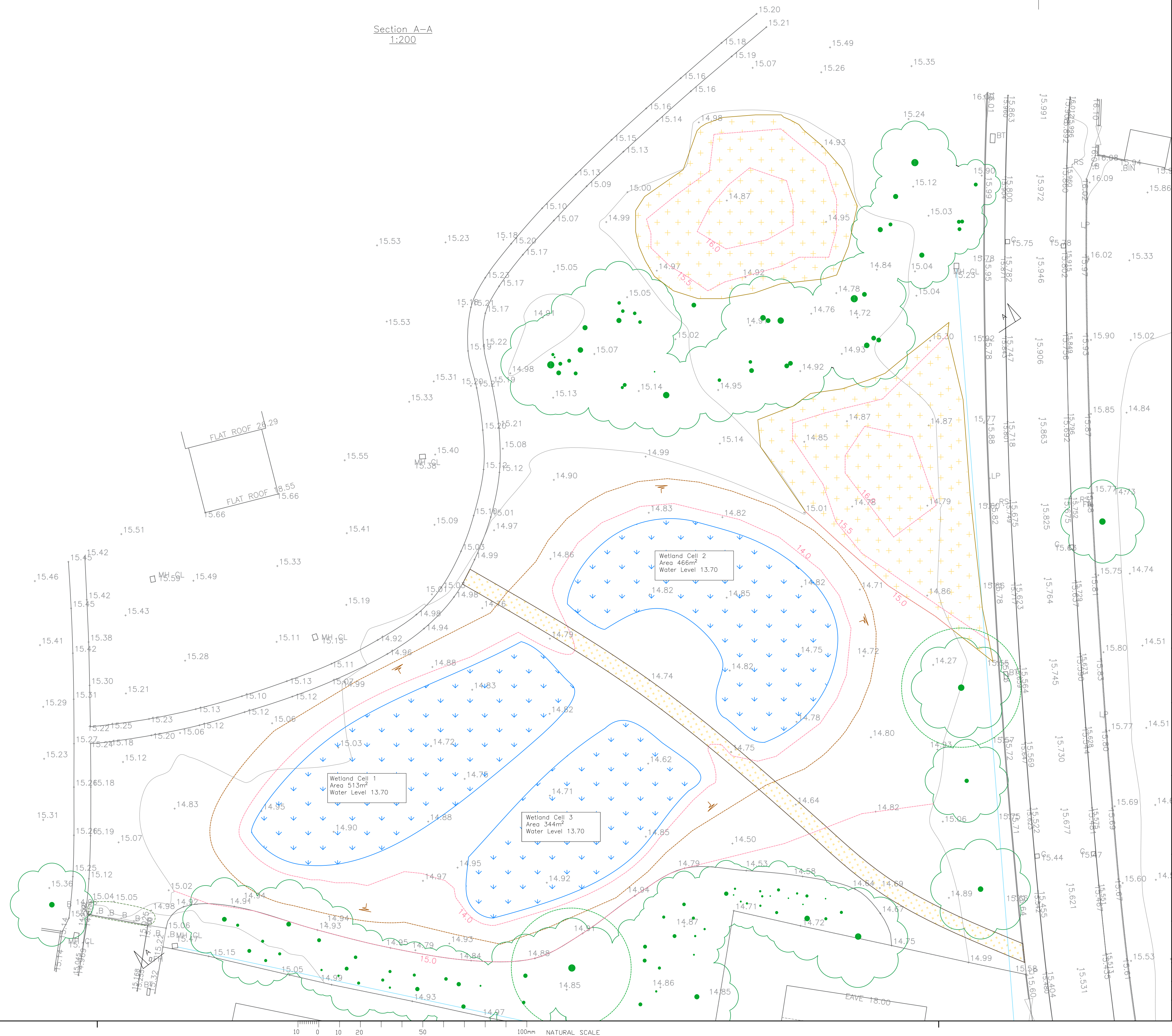
To minimise financial costs, and also the environmental impact of the scheme on surrounding areas, it is proposed to re-use most of the excavated material within Durants Park. Some of this material will be used to landscape areas to the north of the wetlands, creating raised wildflower meadows. Drawing LBE142-001 RevA provides further information relating to the proposed earthworks.







Section A-A  
1:200



10 0 10 20 50 100mm NATURAL SCALE

## NOTES

1. DO NOT SCALE FROM THIS DRAWING.
2. ANY ERRORS OR OMISSIONS TO BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY FOUND.
3. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE SHOWN.
4. ALL LEVELS ARE IN METRES AND RELATE TO ORDNANCE DATUM LEVEL UNLESS NOTED OTHERWISE.
5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS IN THE SAME SERIES.



Wetland features

 Raised areas

### Extent of Excavation Works

 Asphalt Footpath

+50.81 Existing Ground Levels

+50.81 Proposed Ground Levels

Proposed contours

Existing Contours


Rev	Revision details
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STATUS  
**OUTLINE DESIGN**

CLIENT

**LONDON BOROUGH  
OF ENFIELD**

JOB TITLE
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## DURANTS PARK WETLANDS

**DRAWING TITLE**

## PLAN AND SECTION

**Enfield Council**  
52, Civic Centre  
Silver Street, Enfield  
EN1 3XY

Tel: 020 8379 1000  
[www.enfield.gov.uk](http://www.enfield.gov.uk)

## HIGHWAYS AND TRANSPORTATION

## Structures & Watercourses

DESIGNED:- <b>MG</b>	DRAWN:- <b>MG</b>	DATE:- <b>SEP 2020</b>
SCALE:- <b>1:250</b>	PLOT SCALE:- <b>1:1</b>	CHECKED:- <b>IR</b>

DRAWING NO.	LBE142-001 A
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**ENFIELD**  
Council



